



antonphilippe
interiordesigners
a: 43 roberts street bayswater 6053
t: 08 9471 1700
e: info@apdesigners.com

SPECIFICATION AND SCOPE OF WORKS TUART COLLEGE BLOCK A SSEN REFURBISHMENT

1.0	SPECIFICATION NOTES	3
1.1	GENERAL	3
1.2	EXTENT OF WORK	3
1.3	SCHEDULING OF WORKS	3
1.4	SITE PROTECTION	3
1.5	PRE-INSTALLATION CHECKLIST	4
1.6	SUBMISSIONS	4
1.7	INSPECTIONS	4
2.0	SPECIFICATIONS ON DESIGN REQUIREMENTS	5
2.1	SPECIFICATIONS ON DEMOLITION WORKS	5
2.2	SPECIFICATIONS ON GYPROCK PARTITIONING	5
2.3	SPECIFICATIONS ON GLAZING AND ALUMINIUM FRAMING	7
2.4	SPECIFICATIONS ON NEW DOORS & FRAMES	8
2.5	SPECIFICATIONS ON PAINTING	9
3.0	SCOPE FOR WORKS	10
3.1	STORAGE AND FURNITURE AND FIXTURES	10
3.2	DEMOLITION	10
3.2.1	ADMINISTRATION OFFICE PARTITIONING	10
3.2.2	TEA PREP/ RECEPTION AREA	10
3.2.3	STOREROOM ADJACENT TO UTILITIES ROOM	11
3.2.4	DEMOLITION GENERAL	11
3.3	NEW BUILDING WORKS	11
3.3.1	CEILING AND WALL REPAIRS	11
3.3.2	NEW PARTITIONING	11
3.3.3	NEW ALUMINIUM-GLAZED PARTITIONING	12
3.3.4	NEW GLAZED ALUMINIUM FRAMED ENTRY DOORS	12
3.3.5	NEW GLAZING FILM	12
3.3.6	REMOVE AND RELOCATE EXISTING SLIDING DOOR (ENTRY FROM PASSAGE/ ROOM 02)	12
3.3.7	SKIRTING REPLACEMENT	12
3.3.8	REMEDIAL WORKS	12
3.3.9	BUILDING WORKS GENERAL	12
3.4	HYDRAULIC SERVICES (TEA PREP)	13
3.4.1	CORE HOLE PENETRATIONS	13

3.4.2	NEW SERVICES	13
3.4.3	PRODUCT SELECTIONS	13
3.4.4	HYDRAULIC SERVICES GENERAL	13
3.5	MECHANICAL SERVICES	14
3.5.1	MODIFICATIONS TO EXISTING MECHANICAL SERVICES	14
3.5.2	MECHANICAL SERVICES GENERAL	14
3.6	ELECTRICAL SERVICES	14
3.6.1	EXISTING ELECTRICAL	14
3.6.2	NEW POWER SERVICES	15
3.6.3	COMMUNICATION SERVICES	15
3.6.4	SERVICES TO NEW WORKSTATIONS	15
3.6.5	WIFI	15
3.6.6	EXHAUST FAN TO COMMS ROOM	15
3.6.7	LIGHTING	16
3.6.8	ELECTRICAL GENERAL	16
3.7	FLOOR COVERINGS	16
3.7.1	FLOOR COVERING REMOVAL AND FLOOR REPAIRS	16
3.7.2	NEW FLOOR COVERINGS	16
3.7.3	FLOOR COVERINGS GENERAL	17
3.8	PAINTING WORKS	17
3.8.1	PAINTING	17
3.8.2	PAINTING GENERAL	17
3.9	FIRE SAFETY SERVICES	18
3.10	NEW TEA PREP	18
3.10.1	CABINET WORKS	18
3.10.2	BENCHTOP	18
3.10.3	HARDWARE & ACCESSORIES	18
3.10.4	KITCHEN SPLASH BACK	18
3.10.5	NEW TEA PREP GENERAL	18
4.0	COLOURS & FINISHES SCHEDULE	19
5.0	WORKS DOCUMENTS	20

1.0 SPECIFICATION NOTES

1.1 GENERAL

Requirement: The contractor to carry out the Office Refurbishment as shown on plan for SSEN Rooms Level 1 Block A Tuart College. The building is to remain operational for the duration of the course of the works, and the works are to be staged to allow continuity of occupancy to other areas of the building. Allow to carry out all works affecting general working conditions outside of normal office hours.

The project is located on level one. Access to the site is by wide external staircase to a wide veranda.

1.2 EXTENT OF WORK

Specifications to be read in conjunction with Tender Drawings. What has been included in one and not the other shall be deemed to be included in both.

Contractor to immediately advise on any discrepancies or anomalies found between plans, documents and site, please refer any finding to the Superintendent for reference on how to proceed.

The works include but are not limited to:

- Demolition
- New Building Works
- Hydraulic Services
- Electrical Services
- Mechanical Services
- Floor Covering
- Cabinet Works
- Painting

All works to be carried out in accordance with the Building Managers Consent to Carry Out Works in this building.

1.3 SCHEDULING OF WORKS

Allow to carry out all works affecting general working conditions outside of normal office hours.

Contractor to provide Works Schedule/Programme prior to the commencement of the works.

Contractor to immediately advise of any unforeseen issues that may affect the delivery of the works.

1.4 SITE PROTECTION

Adequate safety must be maintained as the work progresses. Contractor to ensure control measures are in place to adequately protect access to the site. Control measures may include hoarding, containment sheets, exclusion zones etc.

Control measures must be erected before the commencement of works, kept in position at all times during the progress of the work, and regularly inspected and maintained.

The Contractor shall be responsible for the protection of the site and all existing parts and surfaces thereof, whether internal or external. The Contractor shall protect and maintain the floor coverings from damage throughout the works to clear as necessary during the programme of works. On completion of the works the floor coverings will be returned to new condition. The minimum thickness of the protective plastic used shall be 2um.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment
Block A Upper Level
Tuart College

The CONTRACTOR shall always keep the site clean and tidy. The CONTRACTOR shall ensure that sufficient bins are maintained, and that these bins are emptied as required. On completion of the works the CONTRACTOR shall:

- Remove all surplus, demolition materials and rubbish from the site
- Remove floor protection and vacuum carpets if required.
- Clean all surfaces affected by works

1.5 PRE-INSTALLATION CHECKLIST

Before installing any products on site ensure the following:

- Correct product has been supplied
- Product is in accordance with Specifications.
- Read the installation instructions/directions as provided by the manufacturer
- The finishes are correct product, colour, pattern, dimensions etc.
- Check product for defects before and during installation. Do not install any damaged or defective material unless accepted, agreed and approved.

1.6 SUBMISSIONS

Contractor to provide the following submissions where applicable:

Certification:

- Certificate of compliance for installation

Fire Performance

- Evidence of conformance for products fire performance, fire hazard properties.

Maintenance Manuals

- Manufacturer issued care and maintenance requirement for each product.
- The names and contact details of the suppliers and manufacturers of each component.

Product and Materials

- Manufacturer's product data for each type of finish, and the recommendations for its application.

Subcontractors:

- Names and contact details of all suppliers and installers.

Warranties:

- For each type of finish installed, submit the manufacturer and installer's warranty of the material, workmanship and application.

1.7 INSPECTIONS

Contractor to provide notice so that inspection may be made of the following if required:

- Completion of demolition works
- Completion of partitioning and builders works.
- Completion of hydraulic Services
- Completion of mechanical services
- Installation of new electrical services
- Installation of new floor coverings
- Completion of new cabinet works
- Completed installation.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment
Block A Upper Level
Tuart College

2.0 SPECIFICATIONS ON DESIGN REQUIREMENTS

2.1 SPECIFICATIONS ON DEMOLITION WORKS

GENERAL

The work of this section includes but is not limited to the following items.

Demolition and removal or relocation/repurposing of existing:

- Partitioning
- Tiling
- Floor covering removal and floor resurfacing (involves an ACM Program).
- Ceiling services (including but not limited to mechanical, electrical and hydraulic services).
- Built in and freestanding cabinets, furniture and fixtures.

Examine documents: Examine parts of the drawings and this specification for requirements which affect the work of this section. Take note of related work.

Co-ordinate with other trades affected or affected by the work of this section, cooperating as necessary to ensure steady and satisfactory progress of the work.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

MATERIALS

Material required to be demolished becomes the property of the Contractor. Remove it from the site. Provide disposal containers for disposal required.

ACM PRODUCT REPAIR AND REMOVAL

Asbestos containing materials (ACM) can only be removed by licensed asbestos removalist (Class A). Site preparation, removal of ACM, site cleaning and disposal of ACM must be completed in compliance with the Work Health and Safety Act 2020 (WHS Act) and WHS regulations. Preparation and disposal of asbestos containing material waste must be carried out in accordance with Department of Water and Environment Regulation regulations.

INSTALLATION

Demolish and remove completely parts of structure listed and/or drawn for demolition.

The demolition of existing partitioning will require the termination and/or relocation of existing power and data services.

Restore to original condition, any damaged parts of the remaining construction resulting from failure to provide adequate protection.

Leave the site in an entirely clean condition, ready for the work of other trades.

2.2 SPECIFICATIONS ON GYPROCK PARTITIONING

GENERAL

Supply and install a complete installation Gyprock Plasterboard partitioning (to match existing where practical)

Co-ordinate and co-operate with other trades as required.

Comply with applicable portions of the following Australian Standards:

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

- AS 2589 2007 Gypsum Linings - Application and finishing
- Comply with BCA Specification C1.10. Product Data Sheets to be provided at practical completion.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

MATERIALS

Contractor shall as part of Tender use types of partitioning as detailed below in conjunction with tender drawings:

Plasterboard Partitioning: a layer of 13mm gyprock plasterboard, on both sides of 64mm steel studwork with R2 acoustic infill. Partitions to be flushed and sanded, painted and finished with 100 mm skirting to match existing.

Acoustics: Supply and install R2 or equivalent between 13mm plasterboard sheets. Allow to supply and fix foam strips and other sound attenuation as required.

Corners & Top: Finish corners of plasterboard with Rondo P32 or equal approved. Finish top of plasterboard with Rondo P13 or equal approved. Head track detail to match existing partitioning.

Fixing Walls and Flushed Ceilings: Where fixtures are to be fixed to stud walls, Partitioning Contractor to mark location of studs with relevant Contractor and provide noggins as required. Timber or aluminium paneling infill can be used as a top plate against the flush ceiling in preparation for partitions to be installed. existing Ceiling (flushed plasterboard) material may contain ACM (testing to be advised).

Fixing to Windows/Perimeter: Ensure adequate sealing for acoustic performance. Allow for infill panels, silicone joins to window frame and glass where solid partitions meet the window frames. Specifically, the new dividing partition wall to Office 01 and the Administration office. Window frame awnings affected by partitions will need to be fixed closed.

Skirting: Skirting: 100 mm aluminum skirting for new partitions (or to match existing)

Paint: Allow for 2 semi-gloss or low sheen acrylic paint (in selected finish) to new partitioning and all areas affected by partitioning works and demolition works.

INSTALLATION

Visit site and inspect conditions, comparing conditions to drawings before delivery of materials to site. Ensure conditions are satisfactory for installation.

Co-ordinate with and ensure preparatory work by other trades is done prior to commencement of work.

Check dimensions of areas and surfaces to which material is applied before installation begins. Measure each area and establish layout pattern.

Supply and install partitioning as listed and/or drawn

Comply with manufacturer's installation instructions.

Take care of and protect surrounding work, including other finishes, equipment and components, during installation. Provide protective covering where necessary.

Protect finished work. Make good damage in every respect at no additional cost and without delay to job progress. Clean exposed surfaces including trim, edge moldings, and comply with manufacturer's instructions for cleaning and touch-up of minor finish damage.

Remove spattering's and droppings resulting from work. Remove surplus materials and rubbish from the work area.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment
Block A Upper Level
Tuart College

Restore to original condition, any damaged parts of the remaining construction resulting from failure to provide adequate protection. Leave the site in an entirely clean condition, ready for the work of other trades.

2.3 SPECIFICATIONS ON GLAZING AND ALUMINIUM FRAMING

Supply and install glazed partitioning and aluminum framing (25mmx 105mm wideline)
Panels to be fixed above the new gyprock partitions and as side lites to the new glazed door as shown on plan.
Co-ordinate and co-operate with other trades as required.

Comply with:

- AS 1288 2009 Glass in buildings - Selection and installation.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

MATERIALS

Contractor shall as part of Tender use types of partitioning as detailed below in conjunction with tender drawings:

Aluminium Framing: 25mm x 105mm aluminium wideline framing.

Glass: 10.38mm clear laminated safety glass unless otherwise specified.

Film: Glass to be fitted with privacy glazing film where specified (provided by Client)

All glazing to be in accordance with Australian Glazing Standards AS1288 2009.

GENERAL

Supply and install a complete installation of glazed partitioning and aluminum framing (25mmx 100mm wideline) as shown on plan.

Co-ordinate and co-operate with other trades as required.

Comply with:

- AS 1288 2009 Glass in buildings - Selection and installation.

MATERIALS

Contractor shall as part of Tender use types of partitioning as detailed below in conjunction with tender drawings:

Glass: 10.38mm clear laminated safety glass unless otherwise specified.

Framing to incorporate all necessary extrusion flutes and joining guides to enable accurate joining, mitring and staking of aluminium partitions. Finish to be confirmed.

Glass to be fitted with privacy glazing film where specified (provided by Client)

INSTALLATION

Visit site and inspect conditions, comparing conditions to drawings before delivery of materials to site. Ensure conditions are satisfactory for installation.

Co-ordinate with and ensure preparatory work by other trades is done prior to commencement of work.

Check dimensions of areas and surfaces to which material is applied before installation begins. Measure each area and establish layout pattern.

Supply and install partitioning as listed and/or drawn. Comply with manufacturer's installation instructions.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

Take care of and protect surrounding work, including other finishes, equipment and components, during installation. Provide protective covering where necessary.

Protect finished work. Make good damage in every respect at no additional cost to the Proprietor and without delay to job progress.

Restore to original condition, any damaged parts of the remaining construction resulting from failure to provide adequate protection. Remove surplus materials and rubbish from the work area.

Leave the site in an entirely clean condition, ready for the work of other trades.

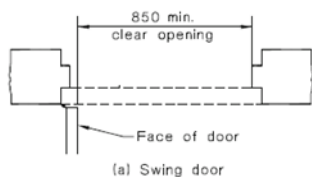
2.4 SPECIFICATIONS ON NEW DOORS & FRAMES

GENERAL

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

Supply and install new ceiling height glazed doors with aluminum door frames.

Doors to have clear opening of 850mm (refer to image below). It is recommended that the Contractor allows for a minimum clear opening of 900-950mm.



Co-ordinate and co-operate with other trades as required.

MATERIALS

Doors: Glazed in accordance with **Specifications on Glazing & Aluminium Framing**

Frames: In accordance with **Specifications on Glazing & Aluminium Framing**

Hinges: 3x hinges to each door (fixed pin inter folding type).

Buffers: Half-moon type fixed to floor behind door.

Acoustics: Acoustic seals or heavy-duty pile stripping to head and stiles to be installed on new door Raven RP8.

Door closers: Lockwood or approved similar door closer in satin chrome.

Door Furniture:

New door furniture and hardware to match existing where practical.

Fitted with slim line mortise lock and mechanism

Doors to be lockable (Client to confirm keying arrangements)

INSTALLATION

Inspect site conditions. Ensure conditions are satisfactory for installation.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

Erect frames plumb and true.

Comply with manufacturer's instructions.

Align door to frame for proper fit and uniform clearance at edge and machine for hardware. Fit accurately and at correct heights.

Adjust door in its frame/track and ensure correct operation. Clean all surfaces marked during the installation of door frames, doors and hardware.

Restore to original condition, any damaged parts of the remaining construction resulting from failure to provide adequate protection. Leave the site in an entirely clean condition, ready for the work of other trades.

2.5 SPECIFICATIONS ON PAINTING

GENERAL

Prepare specified areas for painting – patch, sand etc.

Apply sealer and two coats of selected paint finish to specified areas.

Co-ordinate and co-operate with other trades as required.

Comply with:

- AS AS/NZS 2311:2017 Guide to Paintings of Buildings

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

MATERIALS

Sealer and two finishing coats. Oil based sealer and paints are not to be used without prior approval from the Superintendent. All paint must be LOW VOC.

PERFORMANCE

Paint finish to be:

- Consistent in colour, gloss level, texture and dry film thickness.
- Free of runs, sags, blisters, or other discontinuities.
- Paint to be fully opaque
- Fully adhered.
- Resistant to environmental degradation within the manufacturer's stated life span.

INSTALLATION

Co-ordinate with and ensure preparatory work by other trades is done prior to commencement of work.

Ensure conditions are satisfactory prior to commencing works. Do not paint under the following conditions:

- Dusty conditions
- Humidity > 85%
- Surface temperature < 10° C or > 35° C

Check areas and surfaces to which paint to be is applied prior to installation.

Prepare substrates to receive new paint. Clean down the substrate surface. Fill cracks and holes with fillers, sealants, putties or grouting cements as appropriate for the finishing system and substrate, and sand.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

Comply with manufacturer's instructions.

Take care of and protect surrounding work, including other finishes, equipment and components. Provide protective covering where necessary.

Protect finished work. Make good damage in every respect at no additional cost to the Proprietor and without delay to job progress.

Remove spattering's and droppings resulting from work.

Restore to original condition, any damaged parts of the remaining construction resulting from failure to provide adequate protection. Leave the site in an entirely clean condition, ready for the work of other trades.

3.0 SCOPE FOR WORKS

3.1 STORAGE AND FURNITURE AND FIXTURES

Strip out remove existing worktop desking and metal frames including but not limited to built-in cabinetry, freestanding desking, storage/wall mounted shelving, existing pin/white boards freestanding shelving, window treatments, wall mounted display screens, associated redundant projectors and supporting frames.

Areas will include

- Room 1
- Administration Office
- Room 2
- Boardroom
- Room 3
- Storeroom
- Utilities Room
- Room 4
- Reception /Waiting area

Refer to drawings TC-01, TC-01A, TC-01B, TC-01C.

3.2 DEMOLITION

3.2.1 ADMINISTRATION OFFICE PARTITIONING

Demolish and remove existing partitioning as shown on plan including:

- Timber framed full height partitions
- Timber framed glass over solid full height partitioning.
- Glazed entry door and 2x timber doors.

Refer to drawing TC-03

3.2.2 TEA PREP/ RECEPTION AREA

Demount and remove existing tea prep bench and cabinetry including cupboards surrounding existing electrical services board.

Terminate and remove existing power and hydraulic services. Hydraulic services include but are not limited to sink tap, water pipes and waste pipes.

Demount and remove existing ceramic wall tiles in kitchen splash back.

Refer to drawing TC-03

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment
Block A Upper Level
Tuart College

3.2.3 STOREROOM ADJACENT TO UTILITIES ROOM

Demount and remove existing built-in cupboards. Includes 1x set of large cupboards (approx. 2500mm wide x 1700mm high) and 1 x cupboard (inset) (approx. 1200mm wide x 2000mm high)

Refer to drawing TC-01C

3.2.4 DEMOLITION GENERAL

All Demolition Works to be carried out in accordance with **2.1 Specifications on Demolition Works**.

The removal of the existing full height partitions will expose sections, possibly an opening within the flush panel ceiling.

Termination and removal of existing redundant services, fittings and fixtures will expose damage to walls and ceilings

Removal of redundant ceiling services, ducting, power poles and fittings, may require patching to repair in general to the flush panel and tiled based ceilings.

Patch, paint and make good to areas affected by demolition works includes, walls and ceilings skirting, window framing. Allow to repaint entire areas as required.

Disconnect and remove associated services including mechanical, electrical, hydraulic and ceiling services affecting or associated with the new demolition works. Allow to relocate services where practical.

Supply disposal bin (size to be determined by builder) onsite for demolition materials and dispose of all waste from site. Leave the site in an entirely clean condition, ready for the work of other trades.

Restore to original condition any areas affected by demolition works and any damaged parts of the remaining construction resulting from failure to provide adequate protection.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

3.3 NEW BUILDING WORKS

3.3.1 CEILING AND WALL REPAIRS

Allow to supply and install new acoustic tile-based ceilings panels (1200 x 600) to matching existing ceiling tiles. Also allow to replace any worn/damaged tiles in the existing ceilings.

Builder to provide appropriate solutions to patch, plaster, repair the ceilings and walls affected by demolition works in preparation to receive new paintwork.

Refer to drawing TC-02.

3.3.2 NEW PARTITIONING

Supply and install new solid gyprock partitioning to form the following areas as shown on plan.

- Administration Office
- Adjacent Passageway
- Wall surrounding for Comms Cabinet

Refer to drawing TC-06.

Note that the existing ceiling height is approximately 2700mm throughout.

New Gyprock Partitioning to be installed in accordance with 2.2 Specifications on Gyprock Partitioning. All new partitioning to be adequately infilled and sealed for soundproofing.

3.3.3 NEW ALUMINIUM-GLAZED PARTITIONING

Supply and install new aluminium framed glazed partitioning to form new layout as shown on plan. Partitioning layouts and heights as shown on plan ***Refer to drawing TC-06.***

New Aluminium Framed Glass Partitioning to be installed in accordance with 2.3 Specifications on Glazing and Framing

3.3.4 NEW GLAZED ALUMINIUM FRAMED ENTRY DOORS

Supply and install 3x new full height aluminium framed glazed entry doors. Locations include.

1 x Door to passageway to Room 01

1 x Entry door to Administration Office

1 x Door to comms cabinet surround (Note 750mm reduced width door and framing)

Refer to drawing TC-06.

New doors to be installed in accordance with 2.3 Specifications on Glazing and Aluminium Framing and 2.4 Specifications on Doors and Framing.

3.3.5 NEW GLAZING FILM

Allow to supply and install new privacy glazing film to new glazed doors including side lites. Product and design to be confirmed by client prior to ordering of film.

3.3.6 REMOVE AND RELOCATE EXISTING SLIDING DOOR (ENTRY FROM PASSAGE/ ROOM 02)

Remove existing timber sliding door located in passage at administration office. Demount and remove door, pelmet, and head track (approximately 2100 high) and relocate to the adjacent side of the wall into room 02. Existing pelmet may require modification for reinstallation.

Existing door frame to remain is.

Reinstall head track and pelmet and rehang existing doors.

Existing hardware (lock, handles) to be reused if practical.

Reuse existing floor guides if practical.

Allow to make good to the existing wall in preparation for repainting.

Refer to drawing TC-03 and TC-06.

3.3.7 SKIRTING REPLACEMENT

Allow to remove and replace existing skirting affected by demolition works, new building works and removal/replacement of floor coverings.

Allow to supply and install either new 100mm timber bullnosed painted skirting (to match existing) or 100mm aluminium skirting.

3.3.8 REMEDIAL WORKS

Patch, paint new and make good to any areas affected by demolition and new works. Allow to repaint entire walls and ceilings if required. All paint finishes to match existing unless specified.

Restore to original condition, any damaged parts of the remaining construction resulting from failure to provide adequate protection.

3.3.9 BUILDING WORKS GENERAL

Comply with manufacturer's installation instructions.

Ensure conditions are satisfactory prior to commencing any work.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

Co-ordinate with and ensure preparatory work by other trades is done prior to commencement of work.

Take care of and protect the surrounding work, including other finishes, equipment and components. Provide protective covering where necessary.

Protect finished work. Make good damage in every respect at no additional cost to the Proprietor and without delay to job progress.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

Any shut down of services to be confirmed with client and carried out outside of general office hours.

Certification of works to be provided where required. Provide all necessary manufacturers documentation.

3.4 HYDRAULIC SERVICES (TEA PREP)

3.4.1 CORE HOLE PENETRATIONS

Terminate waste and water services to existing tea prep for the demolition and removal of the cabinetry.

Contractor to survey the existing structural elements associated with the installation of the new services. The existing slab penetrations may be practical to reuse.

Allow to provide a separate cost allowance to provide new core hole penetration if required.

Patch any redundant core hole penetrations with a suitable concrete repair product and provide level surface in preparation for new cabinets, services and floor coverings.

3.4.2 NEW SERVICES

Prepare and provide access and connections for new services. Includes waste, water outlets.

Supply and install new services and connections. Including waste, water pipe, sink and tapware.

Test all hydraulic services and tapware for correct operation and leaks.

3.4.3 PRODUCT SELECTIONS

(Product Specifications for the tea prep services are TBC by client)

Sink: Coroma Luna Single bowl overmount sink (Or equivalent products in quality and specification).

Sink Mixer/Zip Unit: Zip HydroTap 4 in 1 Classic BCHA40 (Or equivalent products in quality and specification).

Provide separate cost to supply tea prep products detailed above.

Product Specifications for the tea prep services are TBC by client.

3.4.4 HYDRAULIC SERVICES GENERAL

Comply with manufacturer's installation instructions.

Ensure conditions are satisfactory prior to commencing any work.

Co-ordinate with and ensure preparatory work by other trades is done prior to commencement of work.

Take care of and protect the surrounding work, including other finishes, equipment and components. Provide protective covering where necessary.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

Protect finished work. Make good damage in every respect at no additional cost to the Proprietor and without delay to job progress.

Carry out complete testing and labelling (where practical) of new services to ensure correct operation and identification.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

Any shut down of services to be confirmed with client and carried out outside of general office hours.

Certification of works to be provided where required. Provide all necessary manufacturers documentation.

3.5 MECHANICAL SERVICES

3.5.1 MODIFICATIONS TO EXISTING MECHANICAL SERVICES

Demount and remove the existing wall hung split system systems and its associated ducting and electrical services in association with demolition work in the administration office.

Refer to section 3.2 Demolition Works and Drawing TC-03.

Assess the existing remaining split system in the Administration Office has capacity to provide the required air flows for the increased space (approximately 38m² and ceiling height of 2700mm).

If the existing air-conditioner is deemed inadequate the following options are to be reviewed:

Option 1

Reinstall the existing split system (removed in demolition works) to new location as determined by the mechanical services contractor and/or mechanical services engineer.

Option 2

Supply and install a new spit system with capacity to service the new expanded space. Option 2 will only be required if the existing system (removed during the demolition works) is not suitable for reuse.

Test, balance and commission all modifications and new services.

Make good to any areas affected by the modifications to the air systems.

Refer to Drawings TC-02, TC-03, and TC-04.

3.5.2 MECHANICAL SERVICES GENERAL

Mechanical contractor to report on the existing air systems (consisting of wall mounted split systems and ceiling mounted cassette system) in terms of capacity to provide the required air supply (including fresh air) to meet Australian Standards in accordance with AS1668.2:2024 and AS1668.4:2024.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the Building Code of Australia, Relevant Australian and Industry Standards.

Certification of works to be provided where required. Provide all necessary manufacturers documentation.

3.6 ELECTRICAL SERVICES

3.6.1 EXISTING ELECTRICAL

Allow to disconnect and remove/relocate services affected and related to the demolition works as shown on plan.

Refer to Drawings TC-02 and TC-03.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

Allow to disconnect and remove/relocate all services affected and related to the removal of cabinetry and fittings.

Allow to disconnect and remove/relocate existing ceiling services affected and related to the demolition and new building works. **Refer to Drawings TC01, TC-02, TC-03 and TC-04.**

Services to be disconnected and remove include but are not limited to:

- Existing power, data and telecom services.
- Lighting
- Sensors
- Security access
- WIFI
- Mechanical

Quantities and locations to be confirmed on site prior to demolition works commencing.

Services are located in cable ducting fitted above bench work tops, floor to ceiling power poles, ducted skirting and ceilings and walls.

Relocate and reuse these services where practical into the new fitout works. Existing plans show locations of ducting but do not provide the actual number of services active or inactive. All redundant services (including ducting and power poles) to be removed and disposed of in preparation for new works.

Electrical contractor will be required to map the rooms to determine the numbers of active services that that can be reused.

Refer to Drawings TC-01, TC-02, TC-03, TC-04 and TC-05.

3.6.2 NEW POWER SERVICES

Supply and install new power service as detailed on the drawings in new layout. All locations and quantities to be confirmed by the contractor on site.

3.6.3 COMMUNICATION SERVICES

Ensure the existing comms cabinet has adequate capacity to accommodate new services prior to commencing works.

Supply and install new data services as shown on plans. All locations and quantities to be confirmed by the contractor on site.

The existing communication cabinet in room 01 will remain in the current location. Full height glazed and gyprock partitions to surround the existing comms cabinet for extra soundproofing from the occupants in proximity.

Refer to Drawings TC-01, TC-02, TC-03, TC-04 and TC-05.

3.6.4 SERVICES TO NEW WORKSTATIONS

Contractor to liaise with workstations suppliers to confirm installation and services required. The following will be provided by the workstation suppliers.

- Standard soft wiring (standard 3-pin plug end)
- Soft wiring & cable management: 4gpo/2data

3.6.5 WIFI

Contractor to confirm with SSEN IT manager should any upgrades or modifications be required.

3.6.6 EXHAUST FAN TO COMMS ROOM

Supply and install new 250mm diameter non ducted exhaust fan (silent fan) into the existing ceiling in new comms cupboard/room. Exhaust fan to be run on timer. Ensure fan has adequate airflow capacity for application.

Refer to drawings TC-04 and TC-05.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

3.6.7 LIGHTING

Terminate 2x 300mm x 1200mm troffer lights to allow for new works as shown on plan.

Supply and install 3x new 300mm x 1200mm ceiling mounted troffer lights surface mounted shown on new ceiling plan.

New and relocated lights to be installed and switched through existing controls.

Refer to Drawings TC-02, TC-03, and TC-04.

3.6.8 ELECTRICAL GENERAL

Electrical Contractor to identify and provide ducting that is to reticulate the new services to locations shown on plans.

Electrical contractors as part of the scope are to supply and install services required to fitout new electrical services. Including but not limited to poles, ducting, face plates, switching and cabling.

All locations and quantities to be confirmed by the contractor on site.

Should the Contractor require to disrupt power to normal site operations the Contractor should allow this work to be performed outside of normal operating hours.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the Building Code of Australia, Relevant Australian and Industry Standards.

Carry out complete testing and labelling of new services to ensure correct operation and identification.

Certification of works to be provided where required. Provide all necessary manufacturers documentation.

Ensure RCD protection is in line with current codes.

Contractor to liaise with contact SSEN IT Manager **Steve 0409 124 435**.

3.7 FLOOR COVERINGS

3.7.1 FLOOR COVERING REMOVAL AND FLOOR REPAIRS

Existing floor covering has been identified to contain ACM .

Asbestos containing materials (ACM) can only be removed by licensed asbestos removalist (Class A). Site preparation, removal of ACM, site cleaning and disposal of ACM must be completed in compliance with the Work Health and Safety Act 2020 (WHS Act) and WHS regulations. Preparation and disposal of asbestos containing material waste must be carried out in accordance with Department of Water and Environment Regulation regulations.

The floor preparation must remove any traces of the ACM.

Floor surfaces are to be prepared, levelled and sanded in preparation for the supply and laying of new carpet tiles. Ensure holes are repaired the with appropriate material and then finished flush with the existing walls and floor level. The finished floor surfaces must be rigid, dry, smooth, flat, level, sound, clean and free from harmful materials.

3.7.2 NEW FLOOR COVERINGS

Supply and install new commercial grade carpet tiles. ***Product yet to be identified and confirmed.***

New carpet floor coverings to comply with the following:

- Installation – AS/NZS 2455.2:2019
- BCA Specification C1.10.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment

Block A Upper Level

Tuart College

Install carpet tiles in strict accordance with the manufacturers written instructions observing recommended installation techniques.

Plan how the material will be set out prior to installation. Most installations will need cutting allowance added to the total square meters of the area. Provide full tiles in doorways and high traffic area. Keep joint lines straight. It is the installers responsibility to confirm the laying direction prior to commencement on installation.

Only adhesives as recommended by the carpet manufacturer to be used. Apply adhesives in strict accordance with the manufacturers written instructions observing recommended application techniques and spread rates.

Skirting to rooms where the existing carpet has been removed to be replaced as required. Carpet tile installer to confirm the skirting (existing and new) requirements with builder for each room prior to installation of new carpet.

3.7.3 FLOOR COVERINGS GENERAL

Comply with manufacturer's installation instructions.

Ensure conditions are satisfactory prior to commencing any work.

Co-ordinate with and ensure preparatory work by other trades is done prior to commencement of work.

Take care of and protect the surrounding work, including other finishes, equipment and components. Provide protective covering where necessary.

Protect finished work. Make good damage in every respect at no additional cost to the Proprietor and without delay to job progress.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards. Any shut down of services to be confirmed with client and carried out outside of general office hours.

Certification of works to be provided where required. Provide all necessary manufacturers documentation.

Refer to Drawings TC-01, TC-03, TC-06 and TC-08.

3.8 PAINTING WORKS

3.8.1 PAINTING

Painting works to be carried out in accordance with section **2.5 Specifications on Painting**. Prepare surfaces and apply paint finishes to the areas as shown on plan. Includes new existing and new works. Refer to Colours and Finishes Schedule for further details.

Refer to Drawings TC-06 and TC-08.

3.8.2 PAINTING GENERAL

Comply with manufacturer's installation instructions.

Ensure conditions are satisfactory prior to commencing any work.

Co-ordinate with and ensure preparatory work by other trades is done prior to commencement of work.

Take care of and protect the surrounding work, including other finishes, equipment and components. Provide protective covering where necessary.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment
Block A Upper Level
Tuart College

Protect finished work. Make good damage in every respect at no additional cost to the Proprietor and without delay to job progress.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.
Any shut down of services to be confirmed with client and carried out outside of general office hours.

3.9 FIRE SAFETY SERVICES

Review and report on the existing fire hose reels servicing areas, to ensure these remain compliant with the modifications.

Existing wall mounted fire extinguishers may require removal and reinstallation to suit the changes proposed.

All fire services for the new layout are required fully with all statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards.

3.10 NEW TEA PREP

3.10.1 CABINET WORKS

Supply and install new tea prep cabinetry and drawers as shown on plan.

Kitchen carcass shall be Moisture Resistant Particleboard with a rating of E0 with melamine impregnated decorative surface on both sides in a nominal thickness of 16mm. Colour to be white. Shelving to be fixed.

Doors, drawer fronts and panels shall be Polytec Thermolaminate with 18mm machine grade moisture resistant medium density E0 Fibreboard. Profile, style, and colour to be confirmed.

3.10.2 BENCHTOP

Supply and install new laminate benchtops as shown on plan. Benchtop substrate shall be moisture resistant Particleboard with a rating of E0 in a thickness of 21-25mm. Benchtop surface shall be postforming high pressure laminate 0.7mm. Laminate shall be postformed to a tight form radius. Colour and finish to be confirmed.

Benchtop to include cut out for new sink and tapware.

3.10.3 HARDWARE & ACCESSORIES

Supply and fit new cabinet door handles and knobs. Draws to be fitted with handles and doors to be fitted with knobs as shown on plan.

- Handles to be Castella Hinkley 160mm Matt Black
- Knobs to be Castella Gallant 32 mm colour Matt Black

Supply and install 1x hideaway Compact Range KCF220SCH-W bin with 1 x 20L bucket in colour white. Pull out bin to be installed to the base of the cabinet.

3.10.4 KITCHEN SPLASH BACK

Prepare existing wall surface to for new tiled splashback.

Supply and lay tiles new subway splash back tiles. Area to be tiled approximately 1.3sqm. Tiles to be subway style with size, colour and finish to be confirmed. Allow for tile value of \$70.00 per sqm (tiles only – does not include cost lay).

3.10.5 NEW TEA PREP GENERAL

Comply with manufacturer's installation instructions.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment
Block A Upper Level
Tuart College

Ensure conditions are satisfactory prior to commencing any work.

Co-ordinate with and ensure preparatory work by other trades is done prior to commencement of work.

Take care of and protect the surrounding work, including other finishes, equipment and components. Provide protective covering where necessary.

Protect finished work. Make good damage in every respect at no additional cost to the Proprietor and without delay to job progress.

All work performed and equipment provided shall comply fully with statutory authority regulations, bylaws and the requirements of the latest revision Building Code of Australia, Relevant Australian and Industry Standards. Any shut down of services to be confirmed with client and carried out outside of general office hours.

Certification of works to be provided where required. Provide all necessary manufacturers documentation.

All colours and finishes to be confirmed prior to order. Contractor to advise immediately of any potential delays or issues with availability due to product selection.

4.0 COLOURS & FINISHES SCHEDULE

PAINTING:

Walls (New and Existing):	Paint Finish in accordance with Painting Specifications 2.5. Colour and finishes to be confirmed.
Ceilings:	Paint Finish in accordance with Painting Specifications 2.5. Colour and finishes to be confirmed.
Skirting and Trim:	Paint Finish in accordance with Painting Specifications 2.5. Colour and finishes to be confirmed.

FLOOR COVERINGS

Carpet Tiles:	To be confirmed.
----------------------	------------------

TEA PREP

Carcass and internal shelving:	Moisture Resistant Particleboard with a rating of E0 with melamine impregnated decorative surface on both sides in a nominal thickness of 16mm. Colour to be white. Shelving to be fixed.
Doors, Draws and Panels:	Polytec Thermolaminate with 18mm machine grade moisture resistant medium density E0 Fibreboard. Profile, style, and colour to be confirmed.
Benchtops:	Benchtop substrate shall be moisture resistant particleboard with a rating of E0 in a thickness of 21-25mm. Benchtop surface shall be postforming high pressure laminate 0.7mm. Laminate shall be postformed to a tight form radius. Colour and finish to be confirmed.
Hinges:	Soft self-closing, detachable and fully adjustable.
Drawer Runners:	Side mounted soft self-closing.

SPECIFICATIONS & SCOPE FOR WORKS

Building Interior Refurbishment
Block A Upper Level
Tuart College

Handles:	Handles to be Castella Hinkley 160mm Matt Black Knobs to be Castella Gallant 32 mm colour Matt Black
Accessories:	Moulded cutlery inset to top drawer
Bin:	Hideaway Compact Range KCF220SCH-W bin with 1 x 20L bucket in colour white.
Splashback:	Subway tiles (size, colour and finish to be confirmed).

5.0 WORKS DOCUMENTS

Drawing No:	TC-01	Title:	Existing Floor Plan (architectural drawing(s))
Drawing No:	TC-01A	Title:	Existing Plan – Admin, Room 01 (architectural drawing(s))
Drawing No:	TC-01B	Title:	Existing Plan – Room 2, Boardroom (architectural drawing(s))
Drawing No:	TC-01C	Title:	Existing Plan Rooms 03, 04 Storeroom & Utility (architectural drawing(s))
Drawing No:	TC-02	Title:	Existing Ceiling Plan (architectural drawing(s))
Drawing No:	TC-03	Title:	Demolition Plan (architectural drawing(s))
Drawing No:	TC-04	Title:	New Ceiling Plan to Admin Office (architectural drawing(s))
Drawing No:	TC-05	Title:	New Floor Plan Showing New Electrical Services (architectural drawing(s))
Drawing No:	TC-06	Title:	New Building Works to Admin Office (architectural drawing(s))
Drawing No:	TC-07	Title:	New Tea Prep Cabinet Works
Drawing No:	TC-08	Title:	New Floor Plan Showing Floor Coverings and Painting (architectural drawing(s))
Drawing No:	TC-09	Title:	Proposed New Floor Plan
Documentation:		Title:	Specification and Scope of Works
Documentation		Title	Form Break down of Tender Sum

BREAKDOWN OF TENDER SUM

TUART COLLEGE BLOCK A -SSEN REFURBISHMENT

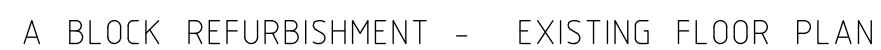
The format and information on this form is to be used by a Tenderer, if required, to submit its breakdown of tender sum into the trades and parts shown.

TRADE COMPONENT PART

	AMOUNT SUB TOTAL
Storage and Furniture and Fixtures	\$ _____
Demolition Works	\$ _____
Building Works	\$ _____
Hydraulic Services	\$ _____
Mechanical Services	\$ _____
Electrical Services	\$ _____
Floor Coverings	\$ _____
Tiling	\$ _____
Painting	\$ _____
New Storeroom Cabinetry	\$ _____
New Kitchen Cabinetry	\$ _____
Contingencies	\$ _____
Allowance for Additional Unforeseen Works*	\$ _____

**Subject to approval*

VALUE OF WORK	\$ _____
GOODS AND SERVICES TAX	\$ _____
TENDER SUM	\$ _____



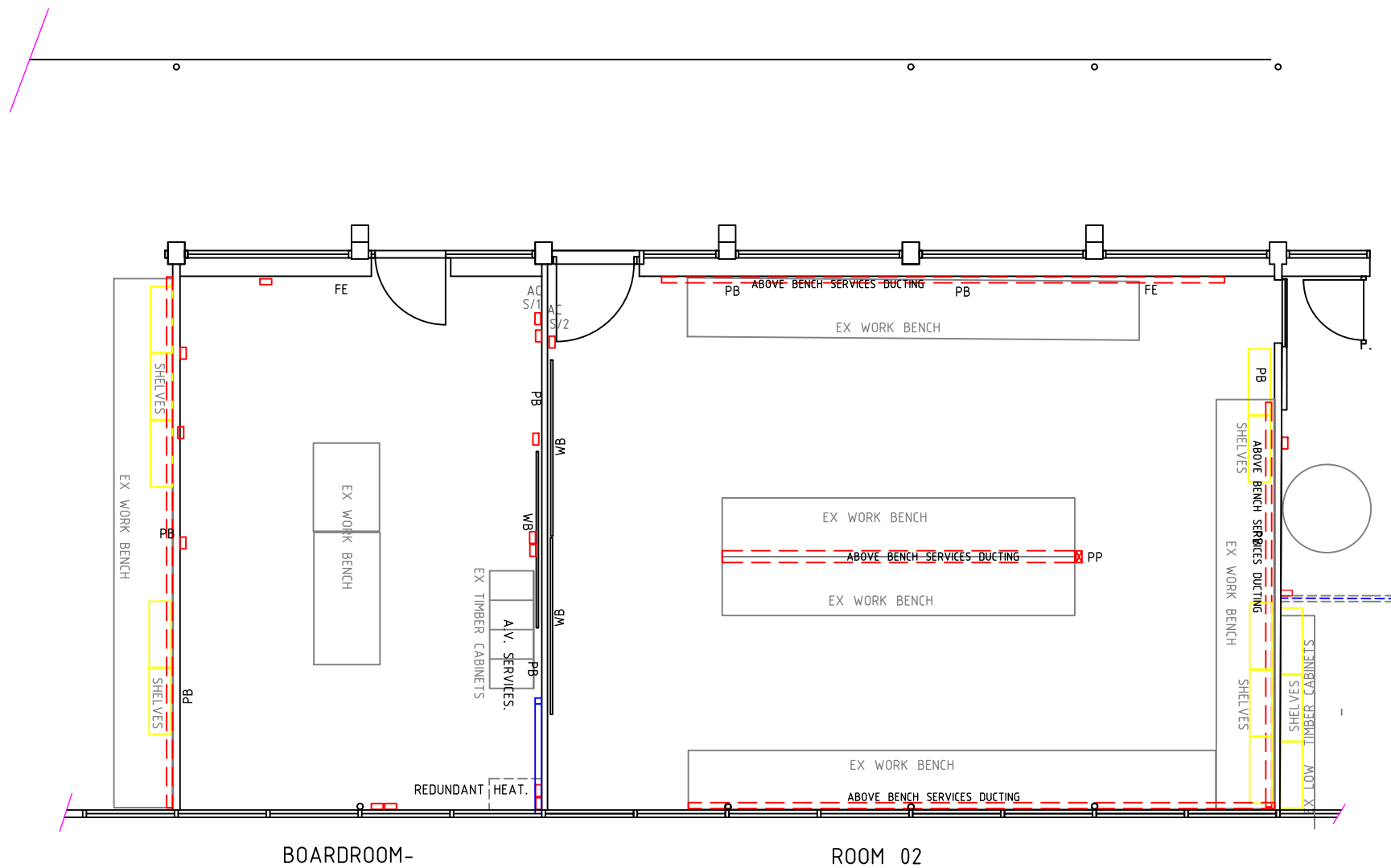
Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.

**THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY**

DRAWING TC-01 BLOCK A EXISTING FLOOR PLAN
TUART COLLEGE
SCHOOL OF SPECIAL EDUCATION NEEDS (SSN) REFURBISHMENT



SCHOOL OF SPECIAL EDUCATION NEEDS (SEN) REFURBISHMENT



BOARDROOM-

ROOM 02

EXISTING LEGEND	
	REDUNDANT SERVICES ABOVE BENCH.
	REDUNDANT SERVICES ABOVE BENCH.
PB	REDUNDANT PIN BOARD
WB	WB REDUNDANT WHITE BOARD
	SERVICES DUCT ON WALL
S/2	EX. LIGHT SWITCHING
AC	EX AIR CON CONTROLLER
A.V	A.V SERVICES
FE	FIRE EXTINGUISHERS

SCOPE OF WORKS

EXISTING FURNITURE STORAGE FIXTURES AND FITTINGS

CLIENT TO IDENTIFY AND CLEARLY MARK ITEMS TO BE RETAINED

DEMOUNT/RELOCATE EXISTING WORKSTATIONS, SCREENS, FURNITURE, CABINETRY STORAGE. INCLUDES WALL AND CEILING MOUNTED FIXTURES AND FITTINGS.

REDUNDANT ITEMS TO THE DISPOSED OF BY BUILDER.

DISCONNECT AND REMOVE ASSOCIATED SERVICES. INCLUDES ELECTRICAL AND CEILING SERVICES.

SERVICES TO BE REUSED TO REMAIN. SERVICES TO BE MADE SAFE FOR NEW INSTALLATIONS, RELOCATION AND/OR RECONNECTIONS.

AREAS AS DETAILED ON PLANS AND INCLUDES ROOM 2 AND BOARDROOM.

DEMOLITION/BUILDING WORKS

REMOVE EXISTING SLIDING DOOR INCLUDES MECHANISM, TRACK AND PELMET FROM ADMIN OFFICE PASSAGE.

REUSE, RELOCATE AND REPOSITION TO OPPOSITE SIDE OF WALL IN ROOM 2.

REVISION NO	DESCRIPTION	DATE

**antonphilippe**
interior designers
43 roberts street bayswater
email: info@apdesigners.com
phone: +618 9471 1700

TUART COLLEGE BLOCK A

SSEN REFURBISHMENT

EXISTING LAYOUT

(BOARDROOM AND ROOM 2)

DRAWN	AP	DESIGNED	AP	DRAWING No.
CHECKED	APB	PRINCIPAL		TC-01B
APPROVED	AP			
SCALE	-	DATE	16/04/2025	
PROJ No.	-	FILE No.	-	

Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.

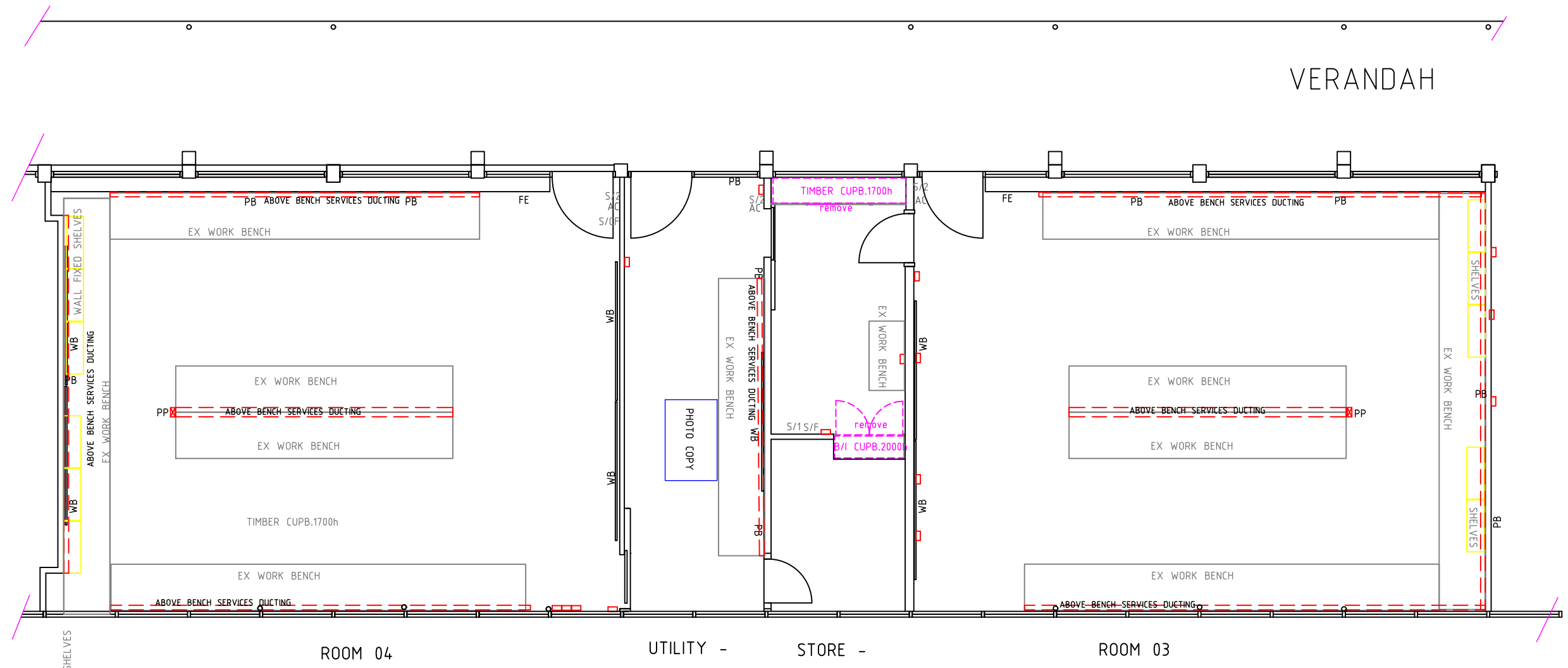
THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY

DRAWING TC-01C BLOCK A - EXISTING FLOOR PLAN

BOARDROOM AND ROOM 02

TUART COLLEGE

SCHOOL OF SPECIAL EDUCATION NEEDS (SSEN) REFURBISHMENT



DRAWING TC-01C BLOCK A - EXISTING FLOOR PLAN
ROOMS 03 04 STOREROOM AND UTILITY ROOM
TUART COLLEGE
SCHOOL OF SPECIAL EDUCATION NEEDS (SSEN) REFURBISHMENT

EXISTING LEGEND	
	REDUNDANT SERVICES AND DUCT ABOVE BENCH.
	REDUNDANT SERVICES AND DUCT FLOOR TO CEILING.
	REDUNDANT PIN BOARD
	REDUNDANT WHITE BOARD
	SERVICES DUCT ON WALL
	EX. LIGHT SWITCHING
	EX AIR CON CONTROLLER
	A.V SERVICES
	FIRE EXTINGUISHERS

SCOPE OF WORKS

EXISTING FURNITURE STORAGE FIXTURES AND FITTINGS

CLIENT TO IDENTIFY AND CLEARLY MARK ITEMS TO BE RETAINED

DEMOUNT/RELOCATE EXISTING WORKSTATIONS, SCREENS, FURNITURE, CABINETRY STORAGE. INCLUDES WALL AND CEILING MOUNTED FIXTURES AND FITTINGS.

REDUNDANT ITEMS TO THE DISPOSED OF BY BUILDER.

DISCONNECT AND REMOVE ASSOCIATED SERVICES. INCLUDES ELECTRICAL AND CEILING SERVICES.

SERVICES TO BE REUSED TO REMAIN. SERVICES TO BE MADE SAFE FOR NEW INSTALLATIONS, RELOCATION AND/OR RECONNECTIONS.

AREAS AS DETAILED ON PLANS AND INCLUDES ROOM 3, ROOM 4, STOREROOM AND UTILITY ROOM.

ADDITIONAL BUILDERS WORK

STORE ROOM - DEMOUNT EXISTING STORAGE CUPBOARDS
ALLOW TO MODIFY THE CUPBOARDS AS PER CLIENTS REQUIREMENTS

UTILITIES ROOM - ALLOW CUT DOWN EXISTING UTILITIES TABLE (TO 1800 LONG).

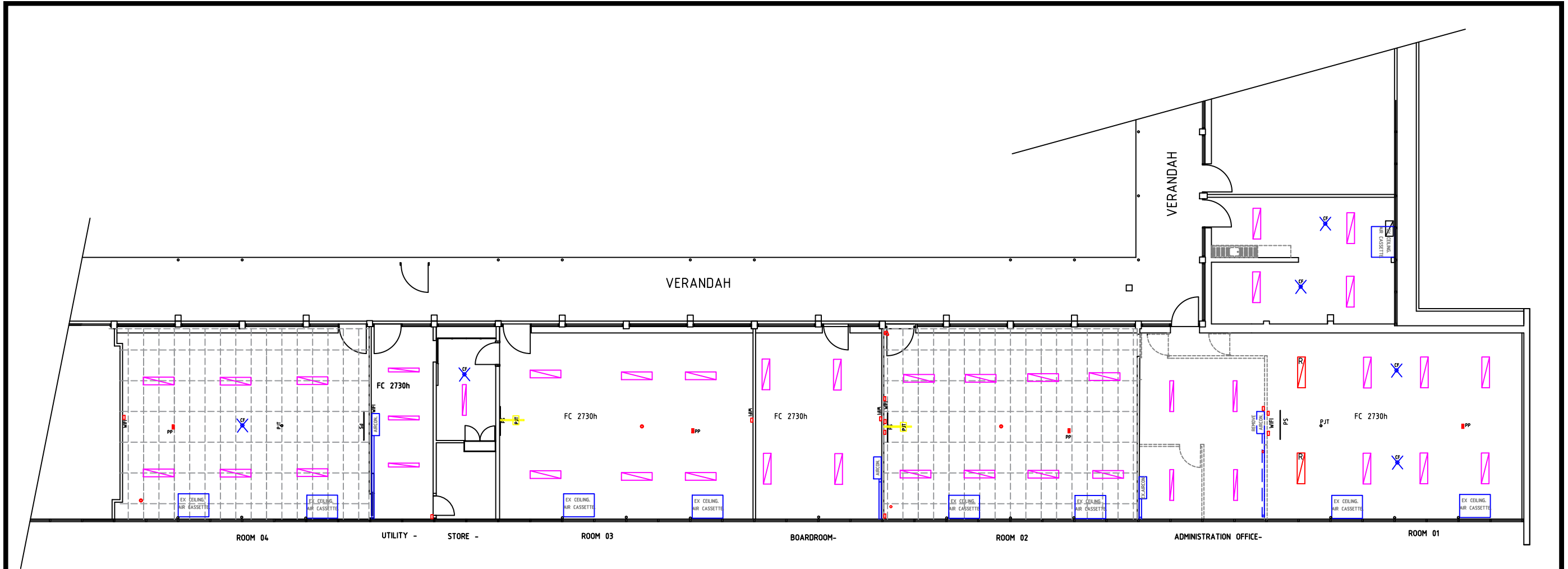
REVISION NO	DESCRIPTION	DATE

**antonphilippe**
interior designers
43 roberts street bayswater
email: info@apdesigners.com
phone: +618 9471 1700

TUART COLLEGE BLOCK A
SSEN REFURBISHMENT
EXISTING LAYOUT (ROOM 3, ROOM 4,
STOREROOM & UTILITY ROOM)

DRAWN	AP	DESIGNED	AP	DRAWING No.
CHECKED	APB	PRINCIPAL		TC-01C
APPROVED	AP			
SCALE		DATE	6/6/2025	
PROJ No.		FILE No.		

Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.
**THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY**



A BLOCK REFURBISHMENT - EXISTING CEILING PLAN

EXISTING CEILING LEGEND	
PP	REDUNDANT SERVICES DUCT FLOOR TO CEILING.
PS	REDUNDANT PROJECT SCREEN.
PJT	REDUNDANT PROJECTOR .
"R" WIFI	RELOCATE WIFI SERVICES .
CF	RETAINCEILING FANS
R	REMOVE EX FLURO. CEILING MOUNTED .
S	EX FLURO LIGHTING CEILING MOUNTED
o	SENSOR (TBC)
AIR CON	RETAIN AIR CON UNLESS DETAILED TO REMOVE

REVISION NO	DESCRIPTION	DATE

**antonphilippe**
interior designers
43 roberts street bayswater
email: info@apdesigners.com
phone: +618 9471 1700

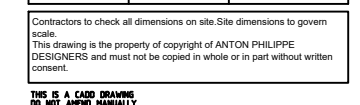
TUART COLLEGE BLOCK A
SSEN REFURBISHMENT
EXISTING CEILING PLAN

DRAWN	AP	DESIGNED	AP	DRAWING No. TC-02
CHECKED	APB	PRINCIPAL		
APPROVED	AP			
SCALE	-	DATE	16/04/2025	
PROJ No.	-	FILE No.	-	

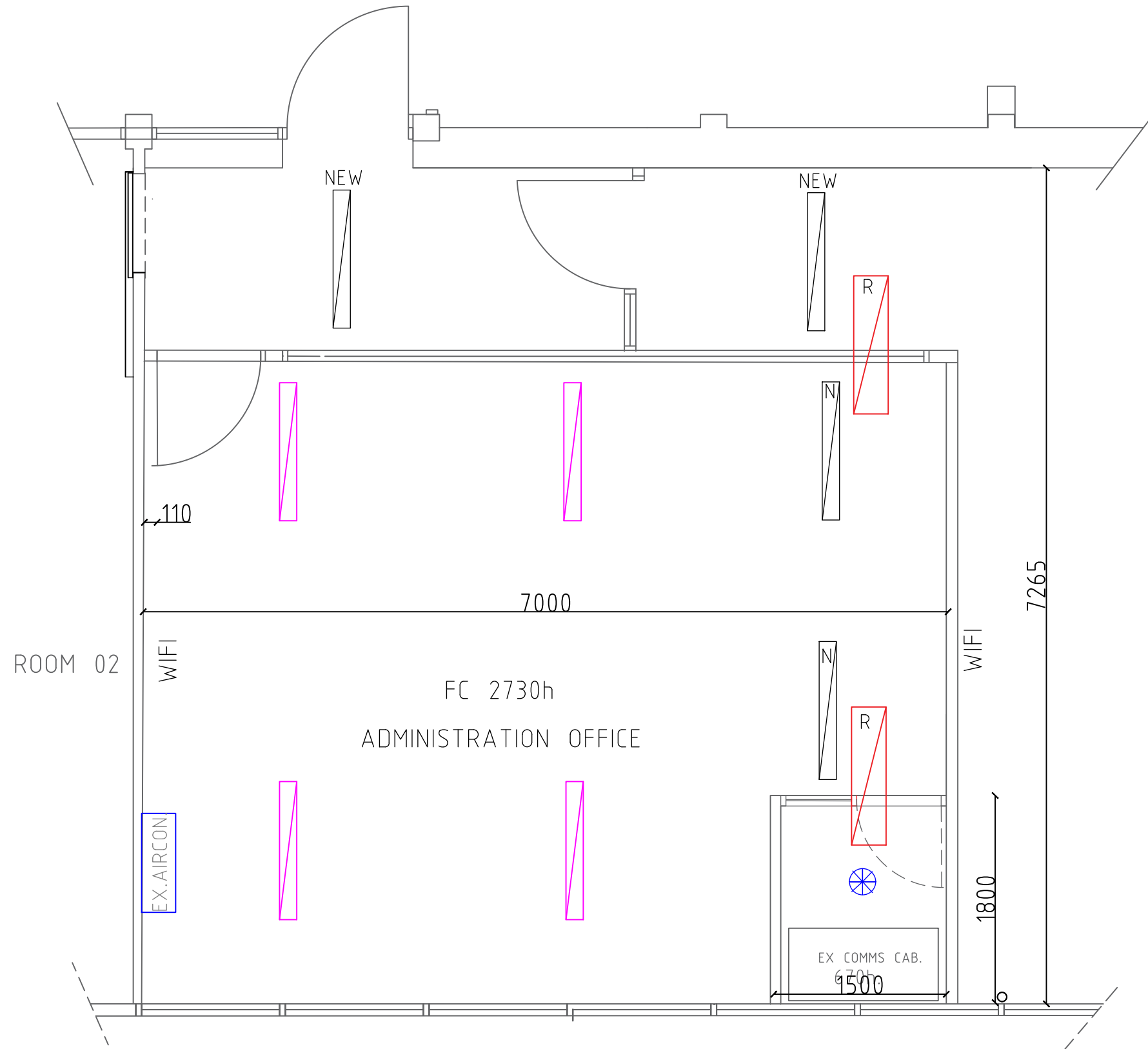
Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.

THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY


DRAWING TC-02 BLOCK A EXISTING CEILING PLAN
TUART COLLEGE
SCHOOL OF SPECIAL EDUCATION NEEDS (SSN) REFURBISHMENT



BLOCK A SCHOOL OF SPECIAL EDUCATION NEEDS (SSEN) REFURBISHMENT



REMOVE 

EX 

NEW 

WIFI - RELOCATED OR NEW

 250 DIAM. EXHAUST FAN
NON DUCTED(SILENT)
RUN ON TIMER

REVISION NO	DESCRIPTION	DATE

 **antonphilippe**
interior designers
43 roberts street bayswater
email: info@apdesigners.com
phone: +618 9471 1700

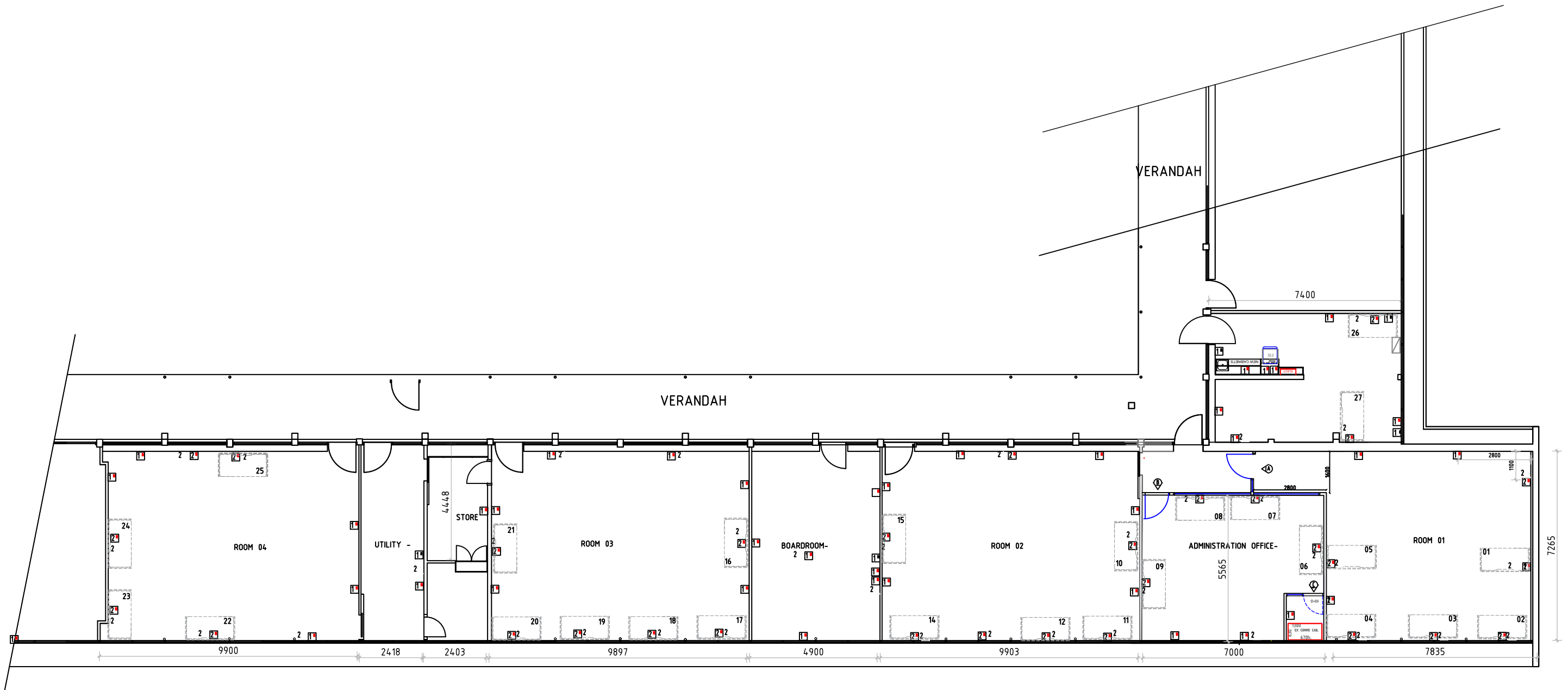
TUART COLLEGE BLOCK A
SSEN REFURBISHMENT
NEW CEILING PLAN TO ADMIN
OFFICE

DRAWN	AP	DESIGNED	AP	DRAWING No.
CHECKED	APB	PRINCIPAL		TC-04
APPROVED	AP			
SCALE	-	DATE	16/04/2025	
PROJ No.	-	FILE No.	-	

Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.

THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY

NEW CEILING PLAN ADMIN OFFICE AND ENTRY ROOM 01



A BLOCK REFURBISHMENT - NEW FLOOR PLAN (SHOWING ELECTRICALS)

LEGEND NEW ELECTRICAL	
	1 X NEW DGPO
	RELOCATED DOUBLE GPO
	2 X NEW DATA CONNECTIONS -

REVISION NO	DESCRIPTION	DATE
01	ADDITIONAL NEW DGPO ADDED TO ALL ROOMS	25/03

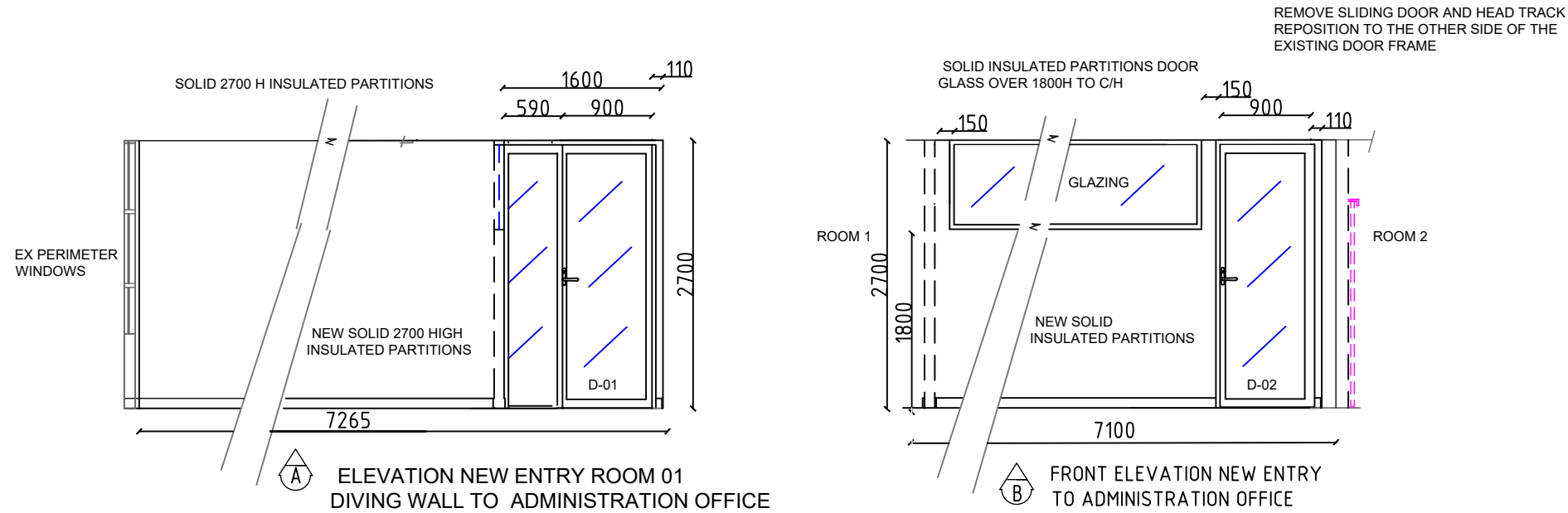
 **antonphilippe**
interior designers
43 roberts street bayswater
email: info@apdesigners.com
phone: +618 9471 1700

TUART COLLEGE BLOCK A
SSEN REFURBISHMENT
NEW ELECTRICAL

DRAWN	AP	DESIGNED	AP	DRAWING No.
CHECKED	APB	PRINCIPAL		TC-05
APPROVED	AP			
SCALE		DATE	11/04/2025	
PROJ No.		FILE No.		

Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.
**THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY**

DRAWING TC-02 BLOCK A NEW FLOOR PLAN
SHOWING NEW ELECTRICAL SERVICES
TUART COLLEGE
SCHOOL OF SPECIAL EDUCATION NEEDS (SSN) REFURBISHMENT



SCOPE FOR WORKS

NEW BUILDING WORKS

PARTITIONING
SUPPLY AND INSTALL NEW PARTITIONING AS SHOWN ON PLAN. PARTITIONING TO BE FULL HEIGHT GYPROCK AND GLASS OVER GYPROCK TO CEILING HEIGHT. SEE SPECIFICATIONS AND SCOPE FOR WORKS FOR DETAILS.

DOORS AND FRAMING
SUPPLY AND INSTALL NEW ALUMINIUM FRAMED GLAZED DOORS (TO MATCH EXISTING OFFICE DOORS). SEE SPECIFICATIONS AND SCOPE FOR WORKS FOR DETAILS.

PROVIDE ALL LOCKABLE DOOR FURNITURE AND HARDWARE TO MATCH EXISTING OFFICE DOORS INCLUDES MORTISE LOCK MECHANISMS AND DOOR CLOSERS.

NEW ALUMINUM FRAMED GLASS DOORS TO HAVE A CLEAR UNOBSTRUCTED OPENING OF A MINIMUM 870MM

NOTE DOOR TO COMM ROOM AS PER DIMENSION ON PLANS

DOORS AND SIDE PANEL GLAZING WILL BE FITTED WITH GRAPHIC DESIGN GLAZING FILM TO SUIT NEW CORPORATE DESIGN. (SUPPLIED AND INSTALLED BY CLIENT).

CEILING REPAIRS
THE CEILING WILL REQUIRE REPAIRS WHEN EXISTING PARTITIONS AND LIGHTING AND FIXTURES ARE REMOVED (DEMOLISHED)

ALLOW TO PATCH AND REPAIR THE FLUSH PANEL CEILING OPENINGS WHERE AFFECTED BY DEMOLITION AND RELOCATIONS OF FIXTURES AND FITTINGS.

OTHER AREAS OF THE OFFICES WILL REQUIRE REPAIRS FROM REMOVAL OF THE EXISTING SERVICES AND FITTINGS INCLUDING EXISTING TILE BASED CEILING AND FLUSH PANELED

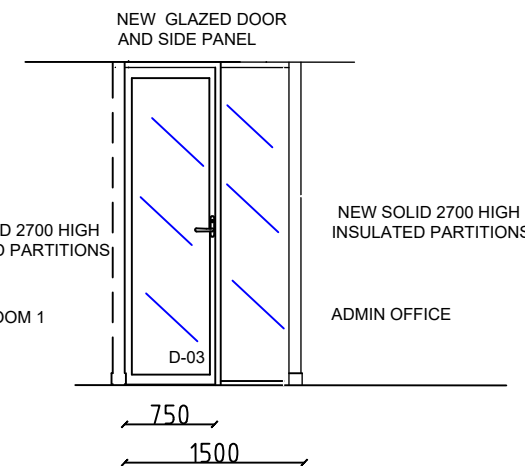
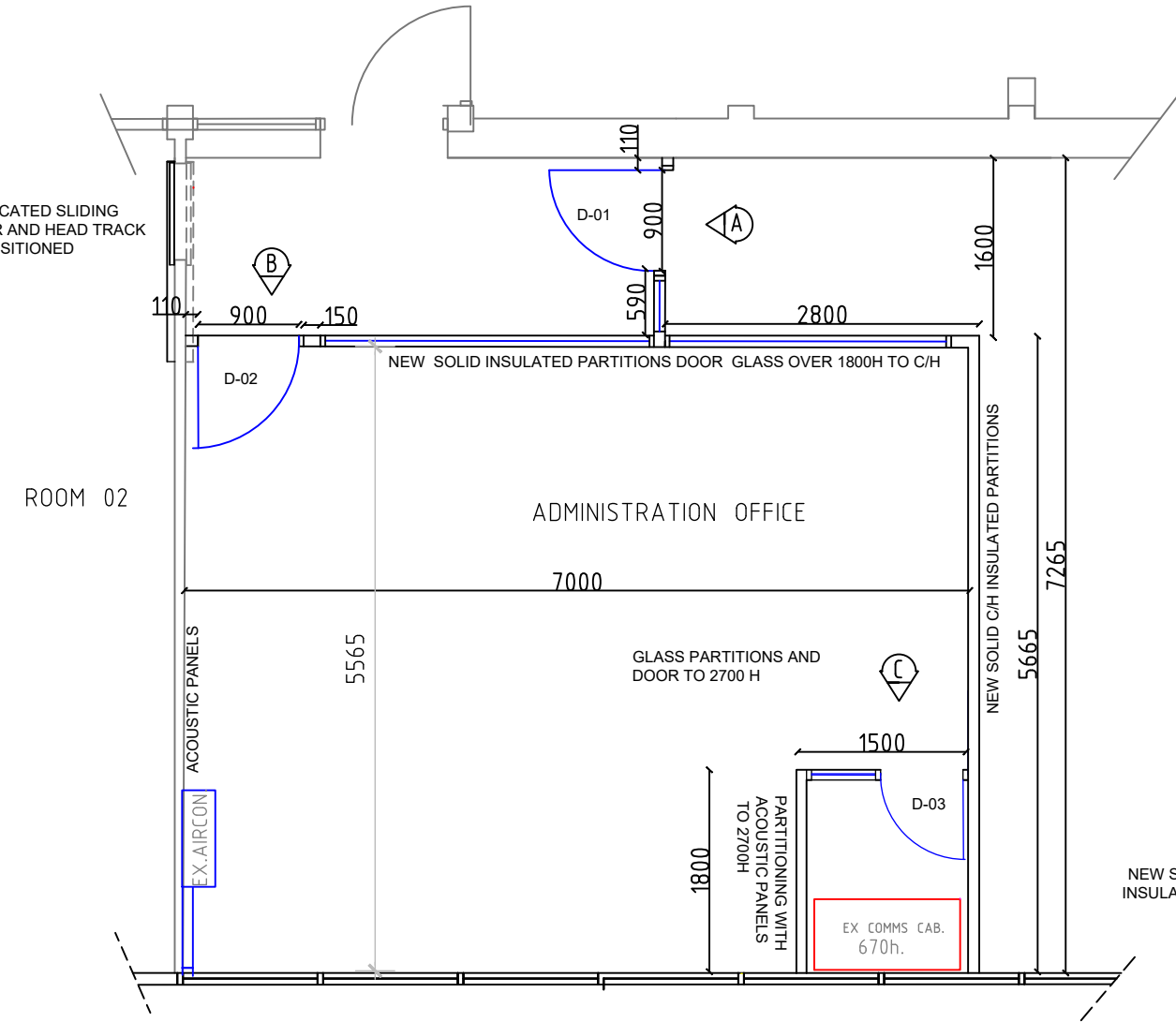
REFER TO THE CEILING PLAN FOR REFERENCES OF THE CEILING TYPES IN EACH ROOM

SCOPE FOR WORKS

SLIDING DOOR RELOCATION

REMOVE EXISTING FLUSH PANEL TIMBER SLIDING DOOR BETWEEN ADMIN OFFICE AND ROOM 2 IN THE EXISTING LAYOUT(REFER (DWG-03), TO ALLOW FOR NEW PARTITION WORK TO BE CONSTRUCTED IN PASSAGE AND ADMIN OFFICE.

REMOVE EXISTING PELEMT COVER , HEAD TRACK SLIDING DOOR MECHANISM DOOR HARDWARE AND LOCKS REINSTALL TO THE OTHER SIDE OF WALL IN ROOM2 AS SHOWN ON PLAN



FRONT ELEVATION COMMS CUBPOARD IN ADMINISTRATION OFFICE

REVISION NO	DESCRIPTION	DATE

antonphilippe
interior designers
43 roberts street bayswater
email: info@apdesigners.com
phone: +618 9471 1700

TUART COLLEGE BLOCK A

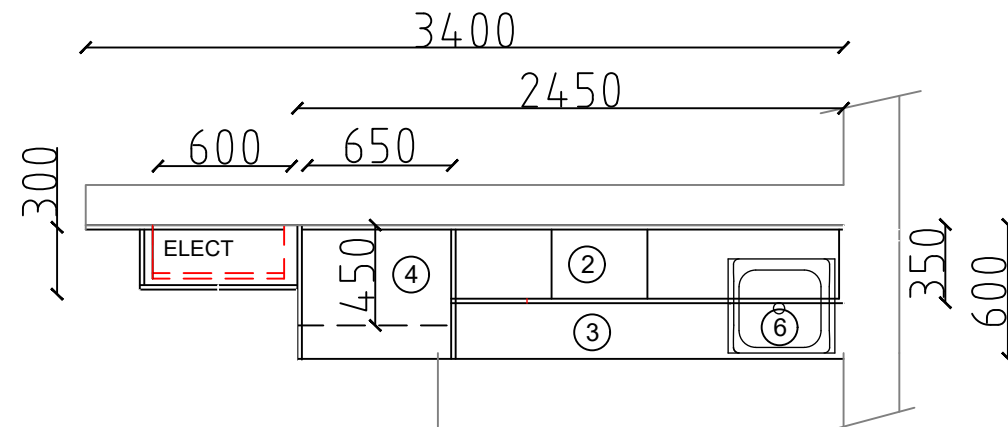
SSN REFURBISHMENT

NEW PARTITIONING AND DOORS TO ADMINISTRATION OFFICE

DRAWN	AP	DESIGNED	AP	DRAWING No.
CHECKED	APB	PRINCIPAL		TC-06
APPROVED	AP			
SCALE		DATE	11/04/2025	
PROJ No.		FILE No.		

Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.
THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY

DRAWING TC-06 NEW BUILDING WORKS TO ADMINISTRATION OFFICE
TUART COLLEGE
BLOCK A SCHOOL OF SPECIAL EDUCATION NEEDS (SSN) REFURBISHMENT



NEW PLAN TEA PREP

- ① ELECTRICAL CABINET ENCLOSED IN NEW CUPBOARD.
- ② OVER HEAD CUPBOARDS 350 DEEP
- ③ UNDER BENCH CUPBOARDS FITTED WITH 4 DRAWERS
- ④ 600MM MICROWAVE ALCOVE
- ⑤ 900MM WIDE FRIDGE ALCOVE
- ⑥ SINK AND TAPS



NEW ELEVATION TEA PREP

CABINET WORKS

SUPPLY AND INSTALL NEW CABINET WORK AS SHOWN ON PLAN. CARCASS FOR NEW CABINET WORKS TO BE CONSTRUCTED IN 16MM HMR DOUBLE SIDED PARTICLE BOARD (WHITE FINISH).

NEW CUPBOARD DOOR AND DRAWER FRONTS POLYTEC THERMO
NEW OVERHEAD CUPBOARDS POLYTEC THERMO

BENCHTOP

MANUFACTURED STONE STONE 20MM -COLOUR TBC.

TILING SPLASHBACK

SUPPLY AND LAY TILES 75 X 150 SUBWAY- COLOUR TBC

REVISION NO.	DESCRIPTION	DATE

antonphilippe
interior designers
43 roberts street bayswater
email: info@apdesigners.com
phone: +618 9471 1700

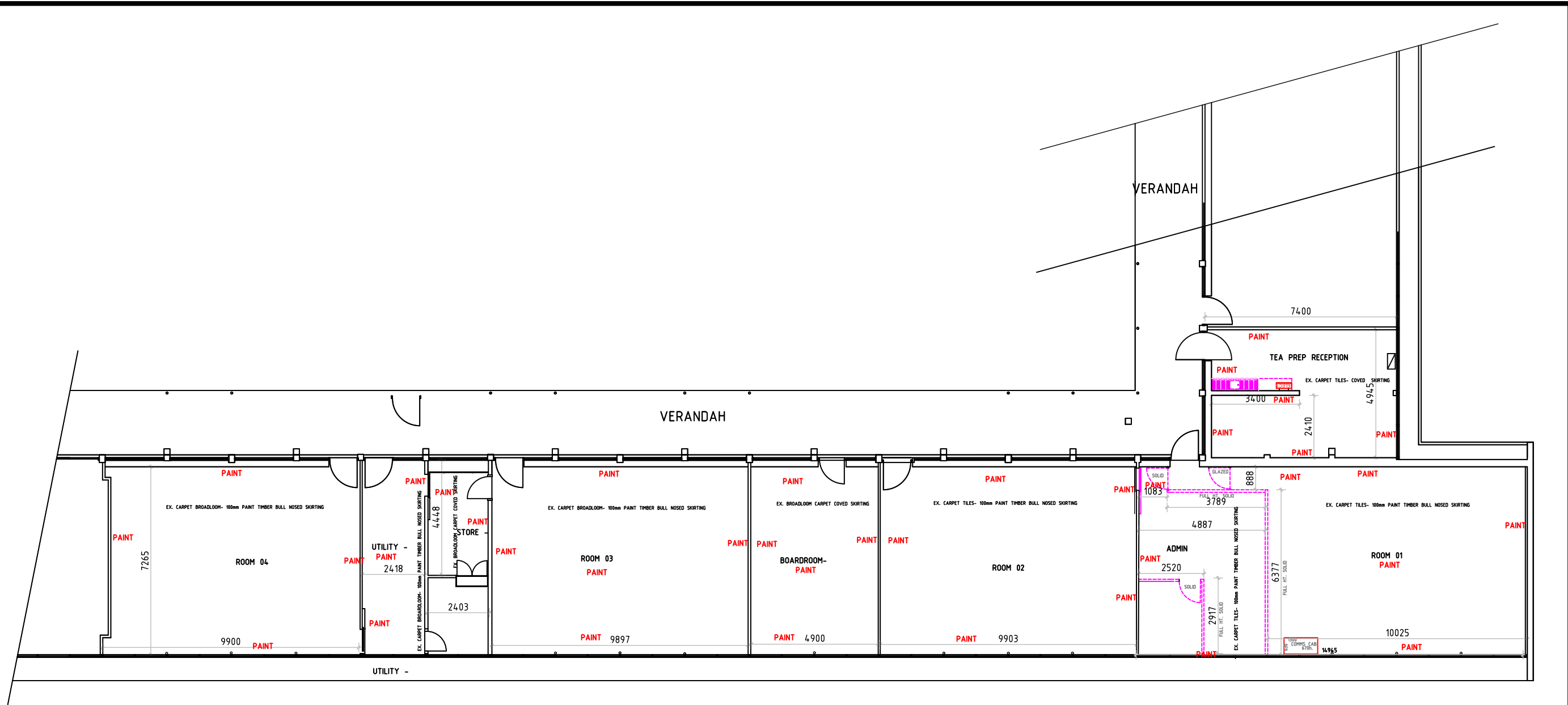
TUART COLLEGE BLOCK A
SSEN REFURBISHMENT
NEW TEA PREP CABINETS

DRAWN	AP	DESIGNED	AP	DRAWING No.
CHECKED	APB	PRINCIPAL		
APPROVED	AP			
SCALE	-	DATE	14/04/25	
PROJ No.	-	FILE No.	-	

TC-07

Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.

THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY



A BLOCK REFURBISHMENT - EXISTING FLOOR PLAN SHOWING DETAILS FOR DEMOLITION AND FLOOR COVERING REMOVAL
A BLOCK REFURBISHMENT - PAINTING LOCATIONS

SHOWING DEMOLITION WORKS AND EXISTING FLOOR COVERINGS FOR REMOVAL
AND NEW PAINTING LOCATION
SCHOOL OF SPECIAL EDUCATION NEEDS (SSN) REFURBISHMENT

LEGEND PAINTING	
PAINT	APPROXIMATE NEW PAINT LOCATIONS
AREAS MARKED FOR PAINTING INCLUDE WALLS, CEILINGS, SKIRTING, DOORS, FRAMES & AREAS AFFECTED BY WORKS	
FLOOR COVERING REMOVAL DETAILS AREAS AND SKIRTING TYPES THAT MAY BE AFFECTED	

REVISION NO.	DESCRIPTION	DATE



antonphilippe
interior designers
43 roberts street bayswater
email: info@apdesigners.com
phone: +618 9471 1700

TUART COLLEGE BLOCK A
SSEN REFURBISHMENT
EXISTING LAYOUT SHOWING AND
FLOOR COVERINGS & PAINTING

DRAWN	AP	DESIGNED	AP	DRAWING No.
CHECKED	APB	PRINCIPAL		TC-08
APPROVED	AP			
SCALE	-	DATE	16/04/2025	
PROJ No.	-	FILE No.	-	

Contractors to check all dimensions on site. Site dimensions to govern scale.
This drawing is the property of copyright of ANTON PHILIPPE DESIGNERS and must not be copied in whole or in part without written consent.
**THIS IS A CAD DRAWING
DO NOT AMEND MANUALLY**



REVISION NO.	DESCRIPTION	DATE
01	SCREENS ADDED - 2 x ROOM 01, 24 ADMIN	25/03


antonphilippe
 interior designers
 43 roberts street bayswater
 email: info@apdesigners.com
 phone: +618 9471 1700

TUART COLLEGE BLOCK A
 SSN REFURBISHMENT
 PROPOSED NEW LAYOUT

DRAWN	DESIGNED	DRAWING No.
APB	AP	TC-09
APB	PRINCIPAL	
APB	DATE	
APB	11/04/2025	
PRJ No.	FILE No.	
-	-	

Contractors to check all dimensions on site. Site dimensions to govern scale.
 This drawing is the property of copyright of ANTON PHILIPPE
 DESIGNERS and must not be copied in whole or in part without written consent.
 THIS IS A CAD DRAWING
 DO NOT AMEND MANUALLY

DRAWING TC-08 PROPOSED NEW LAYOUT FOR BLOCK A
 TUART COLLEGE
 SCHOOL OF SPECIAL EDUCATION NEEDS (SSN) REFURBISHMENT